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## **Staff Report - Time Extension**

San Luis Obispo County Department of Planning and Building

**DATE:** JANUARY 26, 2006  
**TO:** PLANNING COMMISSION  
**FROM:** STEPHANIE FUHS, PLANNER II  
**SUBJECT:** THIRD TIME EXTENSION FOR FRUIT PROPERTIES  
DEVELOPMENT PLAN; D000322D

**ATTACHMENTS:**

1. Exhibit A – Findings
2. 3rd time extension – Letter of Correspondence from Mark Vasquez (Agent)
3. Planning Commission resolution No. 2001-91, Findings and Conditions of approval dated September 27, 2001

### **SUMMARY:**

The applicant is requesting a third-time extension of a Development Plan (D000322D); a request to construct three buildings, totaling 24,000 square feet, for use as warehouses and small scale manufacturing.

The project is in the Commercial Service land use category and is located on a 1.85-acre parcel on the southeast side of Lindon Lane approximately 200 feet west of Frontage Road in the community of Nipomo.

### **RECOMMENDATION:**

Approve the third time extension to be valid until September 27, 2006 for this Development Plan based on findings in Exhibit A that carry over the original findings in addition to the findings for the time extension and original conditions of approval for the project as attached to this staff report.

### **DISCUSSION:**

The Planning Commission approved Development Plan (D000322D) on September 27, 2001. The first and second one-year time extensions were authorized by the Planning Director and extended the life of the permit to September 27, 2005. The applicant submitted a request for this

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third and final one-year extension on August 30, 2005 (pursuant to the Land Use Ordinance Section 22.64.070). If substantial site work has not occurred by the end of third extension, the use permit will become void.

**Section 22.64.070 specifies that the Planning Commission may grant a third one-year time extension if the following three findings can be made:**

1. That substantial site work could not be completed as set forth in Section 22.64.080 because of the circumstances beyond the control of the applicant.

*The applicant has stated that the project has not started due to the circumstances beyond his control. As stated by the applicant (see attached), there has been a delay due to a requirement from Pacific, Gas and Electric (P.G. &E) that a transformer placement and reconnection be completed prior to any site disturbance on the property. The current schedule for completion of these improvements is anticipated in December 2005 with construction permits ready to issue when the third time extension is granted.*

2. That the original findings justifying the first two extensions can still be made:
  - a. There have been no changes to provisions of the Land Use Element applicable to the project since the approval of the land use permit.
  - b. There have been no changes in the character of the site or its surroundings that affect how the standards of the Land Use Ordinance apply to the project.
  - c. There have been no changes to the capacities of community resources, including but not limited to water supply, sewage treatment or disposal facilities, roads, or schools such that there is no longer sufficient remaining capacity to serve the project.

*Staff recommends these findings can be made at this time. There have been no changes to the Land Use Element applicable to the project since its approval as no amendments to the Land Use Ordinance or Land Use Element have been approved since the time of the original project approval that would affect this project. The character of the site and its surroundings has not changed how the ordinance standards would be applied. There has not been a change in the services such that there is no longer sufficient remaining capacity to serve the project.*

3. That the original findings used to justify the initial approval of this permit can still be made pursuant to the Land Use Ordinance.

*Staff feels these original permit findings can still be made. These findings are outlined in the attached findings from the Planning Commission's resolution dated September 27, 2001.*

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## FINDINGS

- A. That substantial site work could not be completed as set forth in Section 22.64.080 because of the circumstances beyond the control of the applicant as Pacific Gas and Electric (P.G. & E) is requiring that a transformer needed to be placed and reconnected prior to any site disturbance on the property. These improvements needed to be coordinated with the property owner, an adjacent property owner and P.G. & E and could not be completed prior to the expiration date of September 27, 2005 for the project.
- B. That the original findings justifying the first two extensions can still be made:
  - 1. There have been no changes to provisions of the Land Use Element applicable to the project since the approval of the land use permit because no amendments to the Land Use Ordinance or Land Use Element have been approved since the time of the original project approval that would affect this project.
  - 2. There have been no changes in the character of the site or its surroundings that affect how the standards of the Land Use Ordinance apply to the project because the character of the site and its surroundings has not changed.
  - 3. There have been no changes to the capacities of community resources, including but not limited to water supply, sewage treatment or disposal facilities, roads, or schools such that there is no longer sufficient remaining capacity to serve the project because sufficient remaining capacity exists to serve the project
- C. That the original findings as attached to the adopted Planning Commission resolution that were used to justify the initial approval of this permit can still be made pursuant to the Land Use Ordinance.

# **Norman & Vasquez Associates**

James R. Norman, Architect

101 West Branch Street, Suite 12  
Arroyo Grande, California 93420  
(805) 481-5645

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San Luis Obispo County Planning Department  
County Government Center  
San Luis Obispo, California 93408  
RE: Fruit Development Plan D000322D  
ATTN: Stephanie Fuhs

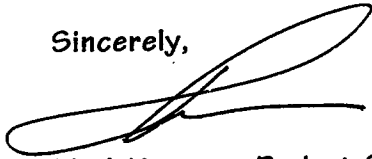
Nov 16, 2005

Stephanie,

Attached is the information requested during our conversation this morning.  
Also attached is another check for the extension request in the amount of three  
hundred thirty eight dollars per your current fee schedule.

Thank you for your understanding of our situation regarding this project.

Sincerely,



Mark Vasquez, Project Coordinator

Copy of original letter request  
Copy of checking ledger  
Letter of explanation for request

# **Norman & Vasquez Associates**

James R. Norman, Architect

101 West Branch Street, Suite 12  
Arroyo Grande, California 93420  
(805) 481-5645

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San Luis Obispo County Planning Department  
County Government Center  
San Luis Obispo, California 93408  
RE: Fruit Development Plan D000322D

Nov 16, 2005

Good Day,

As requested by SLOCO Staff, we are providing the reasons for the 3<sup>rd</sup> extension request on the above named project:

Our project has been submitted for Building permits and has been planchecked by Building Department.

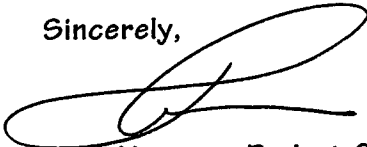
Permit issuance will not be completed prior to the expiration of the second extension limits due to some delays with PG&E.

PG&E transformer placement and reconnect plus overhead pole line removal serving an adjacent property must be completed prior to our start of grading operations on the subject site. Due to some complications with PG&E scheduling and coordination with the adjacent property owner (regarding the reconnect scheduling) we have been delayed beyond the 2<sup>nd</sup> extension limits. PG&E has stated that these operations should be completed in December of 2005.

Our intent is to have the building permits issued in January of 2006 and commence construction immediately.

Thank you for your understanding of our situation regarding this project.

Sincerely,



Mark Vasquez, Project Coordinator

**Norman & Vasquez Associates**

James R. Norman, Architect

101 West Branch Street, Suite 12  
Arroyo Grande, California 93420  
(805) 481-5645

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San Luis Obispo County Planning Department  
County Government Center  
San Luis Obispo, California 93408  
RE: Fruit Development Plan D000322D

Aug 30, 2005

Good Day,

As the above referenced project was approved by the Planning Commission on September 18, 2001, we are now requesting our third additional year extension prior to the 12 month expiration of the second extension.

Our project has been submitted for Building permits and plancheck and permit issuance will not be completed prior to the expiration of the second extension limits.

Attached is a check for eighty-nine dollars to process the extension per your fee schedule.

If you have any further questions, please do not hesitate to contact me to discuss the project.

Thank You for your help on this project.

Sincerely,

Mark Vasquez, Project Coordinator

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PLANNING COMMISSION  
COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA

Thursday, September 27, 2001

PRESENT: Commissioners Cynthia Boche, Eugene Mehlschau, Bob Roos, Chairman Doreen Liberto-Blanck

ABSENT: Commissioner Wayne Cooper

RESOLUTION NO. 2001-91  
RESOLUTION RELATIVE TO THE GRANTING  
OF A DEVELOPMENT PLAN

WHEREAS, The County Planning Commission of the County of San Luis Obispo, State of California, did, on the 27th day of September, 2001, grant a Development Plan to DON PRUIT to allow construction of three buildings, totaling 24,000 square feet, to be used for 21,650 square feet of warehousing and small scale manufacturing space and 2,350 square feet of office space, in the Commercial Service Land Use Category. The property is located in the county on the south side of Lindon Lane approximately 20 feet west of Frontage Road, one-quarter mile north of Juniper Street, in the community of Nipomo, APN: 091-327-075, in the South County Planning Area. County File Number: D000322D.

WHEREAS, The Planning Commission, after considering the facts relating to such application, approves this Permit subject to the Findings listed in Exhibit A.

WHEREAS, The Planning Commission, after considering the facts relating to such application, approves this Permit subject to the Conditions listed in Exhibit B.

NOW, THEREFORE, BE IT RESOLVED, That the Planning Commission of the County of San Luis Obispo, State of California, in a regular meeting assembled on the 27th day of September, 2001, does hereby grant the aforesaid Permit No. D000322D.

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If the use authorized by this Permit approval has not been established or if substantial work on the property towards the establishment of the use is not in progress after a period of twenty-four (24) months from the date of this approval or such other time period as may be designated through conditions of approval of this Permit, this approval shall expire and become void unless an extension of time has been granted pursuant to the provisions of Section 22.02.050 of the Land Use Ordinance.

If the use authorized by this Permit approval, once established, is or has been unused, abandoned, discontinued, or has ceased for a period of six months (6) or conditions have not been complied with, such Permit approval shall become void.

On motion of Commissioner Boche, seconded by Commissioner Mehlschau, and the following roll call vote, to-wit:

AYES: Commissioners Boche, Mehlschau, Roos, Chairman Liberto-Blanck

NOES: None

ABSENT: Commissioners Cooper

the foregoing resolution is hereby adopted.

/s/ Doreen Liberto-Blanck  
Chairman of the Planning Commission

ATTEST:

/s/ Diane Tingle  
Secretary, Planning Commission



**EXHIBIT A**  
**FINDINGS FOR D000322D - PRUIT DEVELOPMENT PLAN**

**Environmental Determination**

- A. On the basis of the Initial Study and all comments received, there is no substantial evidence that the project will have a significant effect on the environment.

**Development Plan**

- B. The proposed project or use is consistent with the San Luis Obispo County General Plan because businesses are allowed uses and are consistent with all of the General Plan policies.
- C. As conditioned, the proposed project or use satisfies all applicable provisions of Title 22 of the County Code.
- D. The establishment and subsequent operation or conduct of the use will not, because of the circumstances and conditions applied in the particular case, be detrimental to the health, safety or welfare of the general public or persons residing or working in the neighborhood of the use, or be detrimental or injurious to property or improvements in the vicinity of the use because archaeological resources will be protected, a landscape buffer will be provided along the street frontage, drainage will be handled on-site, lighting will be directed to not create off-site glare, and access will be improved by Lindon Lane eventually connecting to Camino Caballo.
- E. The proposed project or use will not be inconsistent with the character of the immediate neighborhood or contrary to its orderly development because the design of the proposed buildings is consistent with the Area Plan design standards and the proposed uses are consistent with the Area Plan standards for the Commercial Services land use category.
- F. The proposed project or use will not generate a volume of traffic beyond the safe capacity of all roads providing access to the project, either existing or to be improved with the project because Inga Road will eventually connect to Camino Caballo.

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**EXHIBIT B**  
**CONDITIONS OF APPROVAL FOR D000231D**  
**PRUIT DEVELOPMENT PLAN**

**Authorized Use**

1. This approval authorizes the construction of buildings totaling 24,000 square feet for use as warehouses/small scale manufacturing.
2. The site may have all the uses allowed within Table O, Part I of the Land Use Element as "A" or "S" except: ag processing; animal raising and keeping; drive-in theaters; public assembly and entertainment; sports assembly; petroleum extraction; eating and drinking places larger than 5,000 square feet; food and beverage retail sales larger than 5,000 square feet; general merchandise stores and personal services that are larger than 2,000 square feet each and that occupy more than 25 percent of the total floor area of a site; offices; the transient lodging use group; concrete, gypsum and plaster products; airfields and landing strips; service stations; and truck stops.

**Site Development**

3. **Prior to issuance of construction permits**, the applicant shall redesign the site plan so that the buildings are brought closer to the front setback and the parking is located at the side and rear of the site, consistent with the Area Plan standard.
4. All development shall be consistent with the approved revised site plan and architectural elevations.
5. This approval is effective for a period of 24 months from the date of approval of the Development Plan by the Planning Commission.

**Archaeological Resources**

6. **Prior to initiation of any grading work on the subject property**, the applicant shall retain a qualified archaeological monitor, approved by the Environmental Coordinator, to monitor all disturbance of native soil associated with the project, including disturbance for grading, trenching, excavation, recompaction, etc. In the event that significant cultural resources are uncovered, the applicant shall implement the recommendations of the archaeologist, as required by the Environmental Coordinator.
7. Excavation for the proposed drainage basin shall be monitored by an archaeologist. In the event that significant cultural resources are uncovered, the applicant shall implement the recommendations of the archaeologist as required by the Environmental Coordinator.
8. All trenching for underground utilities shall be monitored by an archaeologist when this trenching intrudes into native soils. In the event that significant cultural resources are uncovered, the applicant shall implement the recommendations of the archaeologist as required by the Environmental Coordinator.

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9. The archaeologist shall review preliminary construction and grading plans and make recommendations for the protection of archaeological resources.
10. The project archaeologist shall attend pre-construction meetings for construction activities affecting native soils.

**Landscape Plan**

11. **Prior to issuance of construction permits**, the applicant shall submit landscape, irrigation, landscape maintenance plans and specifications to the Department of Planning and Building for review and approval in consultation with the Environmental Coordinator. The plans shall be prepared as provided in Section 22.04.180 of the San Luis Obispo County Land Use Ordinance. The proposed landscaping shall provide adequate screening of the drainage basin and the setback areas as required in Section 22.04.186(b) of the Land Use Ordinance.
12. **Prior to issuance of any occupancy permits on the property**, the applicant shall complete the installation of the landscape, irrigation, and landscape maintenance plans. The applicant shall submit a letter, prepared by a qualified individual (e.g., arborist, landscape architect/contractor, nurseryman), to the Department of Planning and Building, stating that the planting has been completed.

**Night Lighting**

13. **Prior to issuance of construction permits**, the applicant shall provide an exterior lighting proposal, consistent with the Exterior Lighting standards, found in Section 22.04.300 of the Land Use Ordinance. The proposal shall include the height, location, and intensity of all exterior lighting. All lighting fixtures shall be shielded so that neither the lamp nor the related reflector interior surface is visible from any location off of the project site. All lighting poles, fixtures, and hoods shall be dark colored. No exterior lighting shall be installed or operated in a manner that would throw light, either reflected or directly, in an upward direction.

**Future Sewer Connection**

14. At such time as the Nipomo Community Services District extends the sewer line to the project boundaries, the applicant/owner shall apply to connect the project to said line. If an on-site system is installed prior to the sewer being available, the applicant/owner shall also install a building sewer to the road right-of-way in preparation for future connection. Any on-site system shall be designed and installed based upon 200% of design flows with 100% reserved area for future expansion. If any tenant businesses generate or store hazardous waste, a permit will be obtained from Environmental Health. No such hazardous materials/waste products will be disposed into the on-site septic system.

**Drainage and Erosion Control**

15. **Prior to issuance of construction permits**, the applicant shall submit a drainage plan for review and approval by the County Public Works Department. During construction, the applicant shall implement erosion control measures as required by the San Luis Obispo County Code (Title 22). If grading is to occur during the rainy season (October 15 to April 15), the applicant shall implement a wet season sedimentation and erosion control plan as required by County ordinance.

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**Fire Safety**

16. **Prior to issuance of construction permits**, the developer shall submit a fire safety plan approved by the County Fire Department(CDF). The fire safety plan shall include, but not be limited to, items contained in the attached letter(s) from CDF dated March 28, 2001.

**Air Quality**

17. **During all ground disturbing activities associated with site improvements**, the applicant shall implement the following particulate (dust) control measures. These measures shall be shown on all grading and building plans. In addition, the contractor or builder shall designate a person or persons to monitor the dust control program and to order increased watering, as necessary, to prevent transport of dust off site. Their duties shall include holiday and weekend periods when work may not be in progress. The name and telephone number of such persons shall be provided to the APCD prior to commencement of grading activities.
- a. Reduce the amount of disturbed area where possible.
  - b. Before any grading on the site occurs, a reliable water source shall be available on the project site to support dust suppression activities sufficient to prevent airborne particulate matter from leaving the site.
  - c. Use water trucks or sprinkler systems in sufficient quantities to prevent airborne dust from leaving the site. Increased watering frequency may be required whenever wind speeds exceed 15 mph. Reclaimed (non-potable) water should be used whenever possible.
  - d. All dirt stock pile areas should be sprayed as needed and/or maintained to prevent airborne dust from leaving the area.
  - e. All roadways, driveways, sidewalks, etc. to be paved should be completed as soon as possible. In addition, building pads should be laid as soon as possible after grading unless seeding or soil binders are used.
  - f. Vehicle speed for all construction vehicles shall not exceed 15 mph on the construction site.
  - g. All trucks hauling dirt, sand, soil, or other loose materials are to be covered or should maintain at least two feet of freeboard (minimum vertical distance between top of load and top of trailer) in accordance with California Vehicle Code Section 23114.

**Road Fees**

18. **Prior to issuance of construction permits**, the applicant shall pay all applicable road and traffic circulation fees.

**Energy Conservation**

19. **At the time of application for construction permits**, the applicant shall show, on the construction plans, the following:

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- a. Insulate all hot water heaters and hot water pipes;
- b. Install wall & ceiling insulation and door/window weatherizing meeting or exceeding current building code standards in all areas that are cooled or heated beyond outdoor ambient temperatures;
- c. Install energy efficient fluorescent lighting;
- d. Use solar assisted or dedicated solar water heaters where feasible;
- e. Install skylights where feasible.

**Noise**

20. The project shall comply with the noise limits in the County Noise Element: From 7 a.m. to 10 p.m.(daytime), noise levels at the project property line shall not exceed an hourly average of 50 dB, with a maximum level of 70 dB, and a maximum impulsive noise level of 65 dB. From 10 p.m. to 7 a.m. (nighttime) noise levels at the project property line shall not exceed an hourly average of 45dB, with a maximum level of 65 dB, and a maximum impulsive noise level of 60 dB.

**Operational Conditions**

21. The following conditions apply to the on-going operation of the project:
- a. The applicant shall maintain all landscaping and drainage basin fencing/screening.
  - b. The outdoor parking areas shall not be used to store scraps, debris, junk or inoperative vehicles.
  - c. There shall be no permanent storage of materials out-of-doors.
  - d. All signs shall comply with conditions the County Sign Ordinance, Section 22.04.300 of the Land Use Ordinance. There shall be no banners, balloons, flags, rooftop or frontyard displays, etc.
  - e. The drainage basin fencing and the street frontage monument sign shall be located outside of the front setback area;

**Miscellaneous**

22. **Prior to issuance of construction permits**, the applicant shall provide the Department of Planning and Building evidence of a community water "will serve letter" from the Nipomo Community Services District.
23. All storage of toxic or combustible materials shall comply with the applicable government ordinances, including Land Use Ordinance Section 22.05.120 et.seq. - Toxic and Hazardous Materials.

# Staff Report

San Luis Obispo County Department of Planning and Building

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FROM  
TRAPPE  
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**DATE:** FEBRUARY 26, 1998

**TO:** PLANNING COMMISSION

**FROM:** JAY JOHNSON, ASSOCIATE PLANNER  
BILL ROALMAN, ENVIRONMENTAL SPECIALIST

**SUBJECT:** D960223D - DEVELOPMENT PLAN APPLICATION BY PRUIT PROPERTIES/  
WESTLAND ENGINEERING FOR A MINI-STORAGE IN NIPOMO

**ATTACHMENTS**

1. Findings
2. Conditions of Approval
3. Graphics
4. Negative Declaration

## SUMMARY

The applicant is proposing construct a 40,000 square foot mini-storage facility and a 60 space RV storage yard on a 3.5 acre site of a 10 acre parcel. Tentative parcel map approval has been granted to subdivide the 10 acre property into two lots and a remainder. Access to the site is from Inga Road off North Frontage Road. Water is to be provided by Nipomo Community services district with wastewater to be handled by an on-site septic system. A Negative Declaration is proposed with mitigation measures recommended for protection of archaeological resources and noise.

## RECOMMENDATION

Approve the development plan based on the findings found in Exhibit A, and the conditions found in Exhibit B and approve the Negative Declaration in accordance with CEQA, Public Resources Code Section 21000, et. seq.

## PROJECT DESCRIPTION AND ENVIRONMENTAL SETTING

**Location:** The southwesterly end of Inga Road approximately 200 feet west of North Frontage Road, north of Camino Caballo, in the community of Nipomo, in the South County Planning Area, Assessor Parcel Numbers: 091-327-41 and 42; Supervisorial District No.: 4.

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General Plan: Commercial Service

Planning Area Stds: Areawide: Circulation: 1. Right-of-way dedication; Communitywide: 1. Future connection to sewer; 2. Drainage plan required; Commercial Service: Limitation on use; 2. Site planning; and, 3. Architecture.

Existing Uses and Improvements: Undeveloped

Surrounding Land Uses (category):

Northwest: Suburban residences and mixed commercial uses (Residential Suburban and Commercial Service)  
Northeast: Truck sales (Commercial Service)  
Southeast: Swap meet (Commercial Service)  
Southwest: Suburban residences (Residential Suburban)

Site Area: 3.5 acres of a 10 acre site

Topography: Gently sloping

Vegetation: Grasses, forbs, willows and eucalyptus

Water and Sewer: Community water and septic system

Fire Protection: CDF/County Fire

## ENVIRONMENTAL DETERMINATION

After completing an initial study and reviewing all comments received, the Environmental Division determined that a Negative Declaration is appropriated under the provisions of CEQA. Mitigation measures have been developed for archaeology and noise. The mitigation measures for archaeology include review of the construction and grading plans by an archaeologist for making recommendations for the protection of archaeological resources, requiring an archaeologist to be present at the pre-construction meeting, and monitoring of all soil disturbing activities such as grading and trenching. The mitigation for noise is to limit the hours of operation to 7:00 am to 7:00 pm.

## DISCUSSION

### Project design

The site plan for this development plan shows use of approximately 3.5 acres of the 10 acre site. The mini-storage facility would be located on the northwesterly half contained in seven buildings with building F located in the middle of the site nearest the RV storage area being two-stories. A two-story caretaker's residence and office would be attached to the southerly end of building A (nearest the street

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frontage. The remainder of the buildings would be one story. A fifteen-foot-wide landscape buffer is proposed between the mini-storage buildings and the neighboring residential properties. The applicant shows an eight-foot-high block wall on the interior property line adjacent to the RV storage with the landscape inside the wall. The street frontage will have a 20 foot landscape strip with a decorative block wall behind the landscape where buildings or driveways are not located. The drainage basin will be required to be fenced and landscaped.

#### Subdivision

The Subdivision Review Board approval tentative parcel map CO90-208, a two parcel subdivision with a 4.6 acre remainder, in September, 1997. This project would be on parcel one. The tentative parcel map was approved with Inga Road terminating at the northwesterly boundary of the remainder. The extension of Inga Road to Camino Caballo and improvements to Camino Caballo will be required to be completed with the development of the remainder. However, if the parcel map is not recorded prior to the issuance of construction permits for this development plan, the applicant would be required by the Land Use Ordinance to install street frontage improvements, including curb, gutter and sidewalk along Camino Caballo because this development would technically occur on the parent parcel.

#### Planning area standards

The area standards require right-of-way dedication for Inga Road and Camino Caballo. This required also of the parcel map but must be done prior to issuance of construction permits. This project is to utilize an on-site septic system. However, the area plan requires this project to be designed for future connection to the community sewer when available. The applicant proposes to handle drainage on-site, which is consistent projects in Nipomo. The final drainage plan will be reviewed and approved by County Engineering with the construction permit process.

The area plan has special standards for the Commercial Service category in Nipomo. There is a limitation on uses, in particular where the site is adjacent to residential property. The proposed mini-storage and RV storage facility is allowed and is consistent with the low impact uses envisioned for these locations because activity is infrequent and there are no operational processes that may be noisy or incompatible with the adjacent residences. In addition, the area plan has site planning requirements for projects that are located adjacent to residential land use categories. The proposed landscape buffer and walls are consistent with this standard. Although, the eight-foot-high block wall is an appropriate height to screen RV's, it should be set back with the landscape between the wall and the property line so the wall becomes less obtrusive to the neighboring residences. There are also architectural standards that require design elements that are used on the street fronting elevations to be extend throughout the project. This standard is more applicable to a multi-use project with greater public access than a mini-storage yet the applicant's design does extend features to other building faces.

#### Ordinance requirements

The applicant's project will be consistent with the design and development standards of the Land Use Ordinance. The RV storage area must be paved, exterior lighting must be directed to not create glare off-site, the drainage basin fence, the block wall and the street frontage monument sign cannot be located in the front setback area, and Inga Road must be extended through to Camino Caballo or be designed with a CDF/County Fire approved temporary turnaround.



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Correspondence received

Staff received one letter from Mr. Swords who is support of the project.

**EXHIBIT A**  
**FINDINGS - D960223D**

- A. The proposed project or use is consistent with the San Luis Obispo County General Plan because the use is allowed in the Commercial Service land use category as specified in the South County area plan.
- B. As conditioned, the proposed project or use satisfies all applicable provisions of Title 22 of the County Code.
- C. The establishment and subsequent operation or conduct of the use will not, because of the circumstances and conditions applied in the particular case, be detrimental to the health, safety or welfare of the general public or persons residing or working in the neighborhood of the use, or be detrimental or injurious to property or improvements in the vicinity of the use because archaeological resources will be protected, a landscape buffer and solid wall screening will be provided, drainage will be handled on-site, the RV storage yard will be paved, lighting will be directed to not create off-site glare, and access will be improved by Inga Road eventually connecting to Camino Caballo.
- D. The proposed project or use will not be inconsistent with the character of the immediate neighborhood or contrary to its orderly development because the proposed mini-storage and RV storage facility will have infrequent activity and there are no operational processes that may be noisy or incompatible with the adjacent residences and a landscape buffer and solid wall screening will be provided.
- E. The proposed project or use will not generate a volume of traffic beyond the safe capacity of all roads providing access to the project, either existing or to be improved with the project because Inga Road will eventually connect to Camino Caballo.
- F. On the basis of the Initial Study and all the comments received, there is no substantial evidence that the project will have a significant effect on the environment.

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**EXHIBIT B**  
**CONDITIONS OF APPROVAL - D960223D**

**Authorized Use**

1. This development authorizes the construction of an approximately 40,000 square foot mini-storage facility, an approximately 60 space RV storage lot, and a caretaker's residence.
2. The hours of operation shall not exceed 7:00 am to 7:00 pm, daily.

**Site Development**

3. Construction permit plans and site development shall be consistent with the approved site plan, floor plans, elevations and the following:
  - a. the RV storage area shall be paved;
  - b. the eight-foot-high wall along the southwesterly property line shall be set back 15 feet with the approved landscape material planted between the wall and the property line;
  - c. exterior lighting shall be directed down and to not create glare off-site.
  - d. the drainage basin fencing, the block wall and the street frontage monument sign shall be located outside of the front setback area;
  - e. demonstrate how wastewater disposal will be converted to community sewer and include dry sewer lines, if the sewer plans for the area have been designed and dry sewerage is required by Nipomo CSD; and,
  - f. Inga Road shall be extended through to Camino Caballo or provided with a CDF/County Fire approved turnaround.

**Access and Improvements**

4. Within five years of the final building inspection or at the time of development of the unused portions of the site whichever comes first, the applicant shall extend Inga Road constructed to an A-2 (urban) section within a 60 foot dedicated right-of-way.
5. Improvement plans be prepared in accordance with San Luis Obispo County Improvement Standards and Specifications by a Registered Civil Engineer and submitted to the County Engineer for approval. Plans shall include a street tree plan that shows trees at a ratio of one tree per 25 feet of frontage (trees may be grouped) to be approved jointly with the Planning Director
6. The applicant offer for dedication to the public by certificate on the map or by separate document for road widening purposes 30 feet along Camino Caballo, to be described as 30 feet from the recorded centerline.
7. The future alignment of Inga Road extension shall be dedicated to the public for future right-of-way.
8. The applicant shall enter into an agreement with the county for inspection of said improvements, and for checking the improvement plans.

3-194-19

9. The engineer, upon completion of the improvements, must certify to the County Engineer that the improvements are made in accordance with Planning Commission requirements and the approved plans.

#### Landscape

10. **Prior to issuance of construction permits**, the landscape plan shall receive final approval from the Development Review section of the Department of Planning and Building for consistency with Land Use Ordinance Section 22.04.186 et. seq.
11. Landscape per the approved landscape plan shall be installed prior to final building permit inspection.

#### Signs

13. All on site signage shall be consistent with the approved sign plan and Land Use Ordinance Section 22.04.300 et.seq.

#### Exterior Lighting

14. Prior to issuance of construction permits, the applicant shall submit to the Development Review section of the Department of Planning and Building for review and approval, an exterior lighting plan. The plan shall provide lighting that is directed down and not create off-site glare.

#### Road Name

15. The applicant shall apply to the Department of Planning and Building for approval the street name.

#### Archaeological Resource Protection

16. **Prior to issuance of grading permits or any grading work**, the applicant shall retain a qualified archaeological monitor and a Native American monitor, approved by the Environmental Coordinator, to monitor all disturbance of native soil associated with the project, including disturbance for grading, trenching, excavation, recompaction, etc.

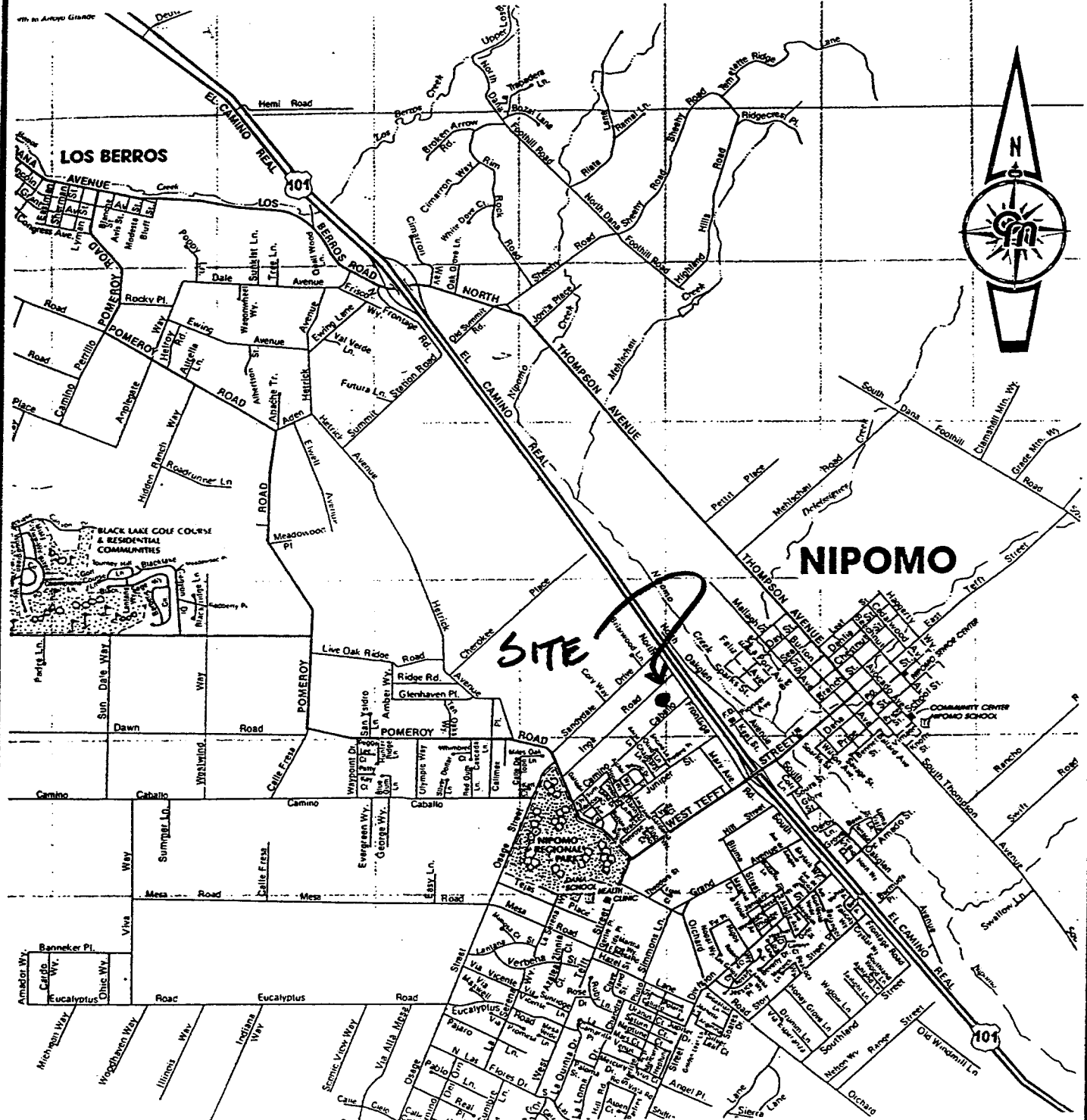
In the event that significant cultural resources are uncovered, the applicant shall implement the recommendations of the archaeologist, as required by the Environmental Coordinator.

17. The applicant shall use shallow discing, or similar ground preparation, as a less intensive form of scarification to remove existing vegetation in preparation of the soil surface for necessary excavation and/or recompaction. **All discing activity shall be monitored by an archaeologist and Native American monitor.** In the event that significant cultural resources are uncovered, the applicant shall implement the recommendations of the archaeologist as required by the Environmental Coordinator.
18. Excavation for the proposed catchment basin shall be monitored by an archaeologist and Native American monitor. In the event that significant cultural resources are uncovered, the applicant shall implement the recommendations of the archaeologist as required by the Environmental Coordinator.

187  
~~3-204-20~~

19. All trenching for underground utilities shall be monitored by an archaeologist and Native American monitor when this trenching intrudes into native soils. In the event that significant cultural resources are uncovered, the applicant shall implement the recommendations of the archaeologist as required by the Environmental Coordinator.
20. All grading for roads shall be monitored by an archaeologist and Native American monitor, unless this cutting takes place within layers of imported fill. In the event that significant cultural resources are uncovered, the applicant shall implement the recommendations of the archaeologist as required by the Environmental Coordinator.
21. The archaeologist shall review preliminary construction and grading plans and make recommendations for the protection of archaeological resources.
22. The project archaeologist shall attend pre-construction meetings for construction activities affecting native soils.

3-24-21



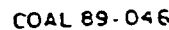
PROJECT

D960223D PRUIT



EXHIBIT

VICINITY MAP



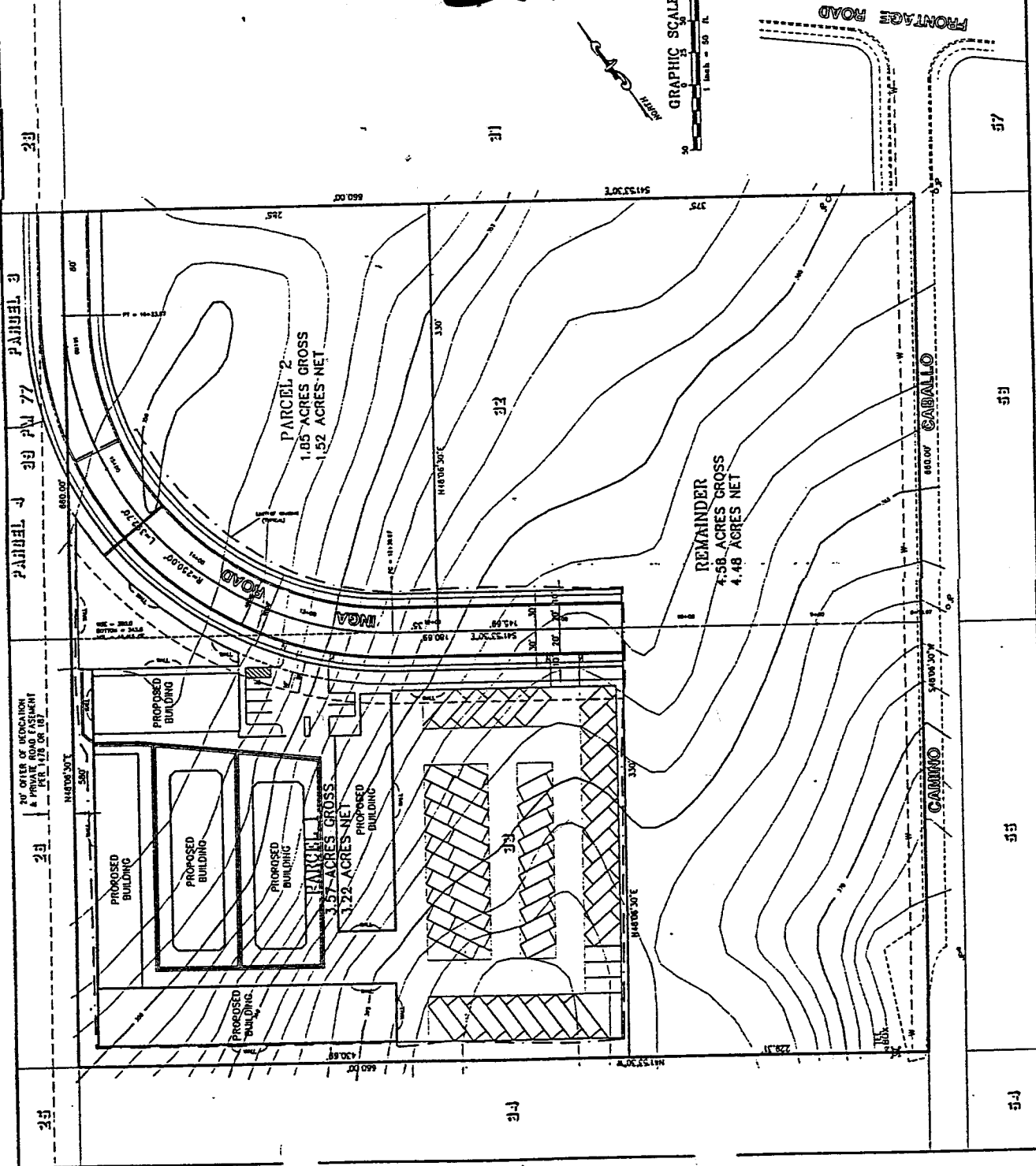
D960223D PRUIT



## LAND USE CATEGORY MAP

3-234-23

GRAPHIC SCALE  
1 inch = 50 ft.



PROJECT

D960223D



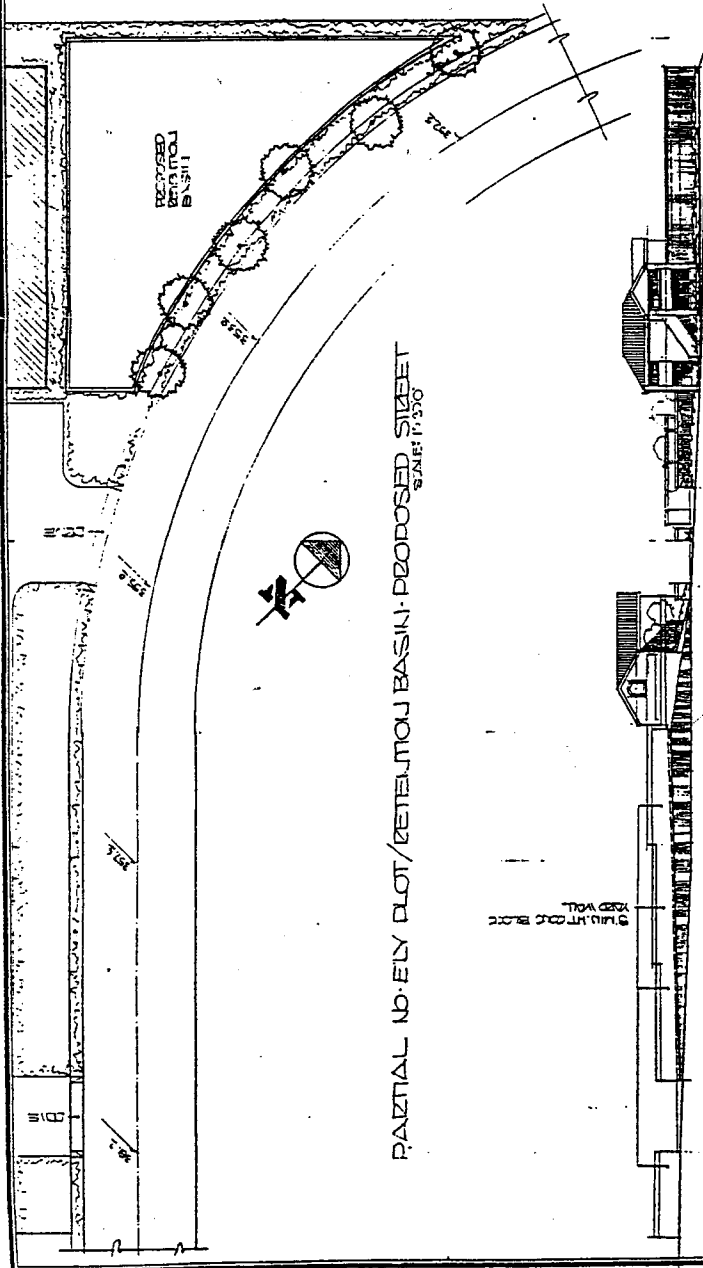
EXHIBIT

SITE PLAN

3-244-24

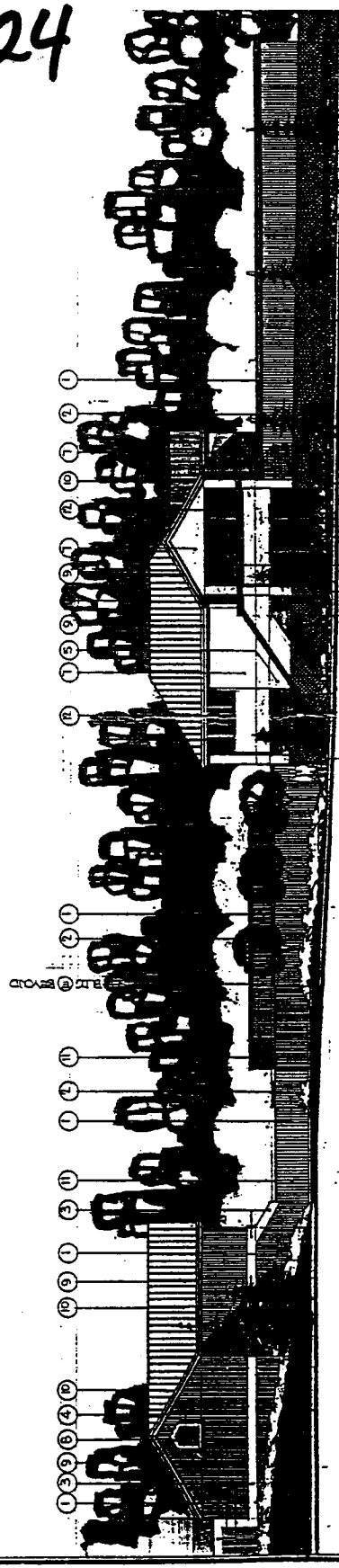
EXTERIOR FINISH LEGEND

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2. 8" x 8" GUTTER FLUDED TO INTERIOR BLOCK-SIDE
3. 8" x 8" GUTTER FLUDED TO INTERIOR BLOCK-SIDE
4. 8" x 8" GUTTER FLUDED TO INTERIOR BLOCK-SIDE
5. 8" x 8" GUTTER FLUDED TO INTERIOR BLOCK-SIDE
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12. 8" x 8" GUTTER FLUDED TO INTERIOR BLOCK-SIDE
13. 8" x 8" GUTTER FLUDED TO INTERIOR BLOCK-SIDE



PROPOSED N.E. ELEV. ENTIRE STREET FRONTAGE

ASSUMED S.E. ELEV. ENTIRE STREET FRONTAGE



PROPOSED STREET ELEV. N.E. SCALE: 1/8" = 1'-0"

PROJECT

D960223D

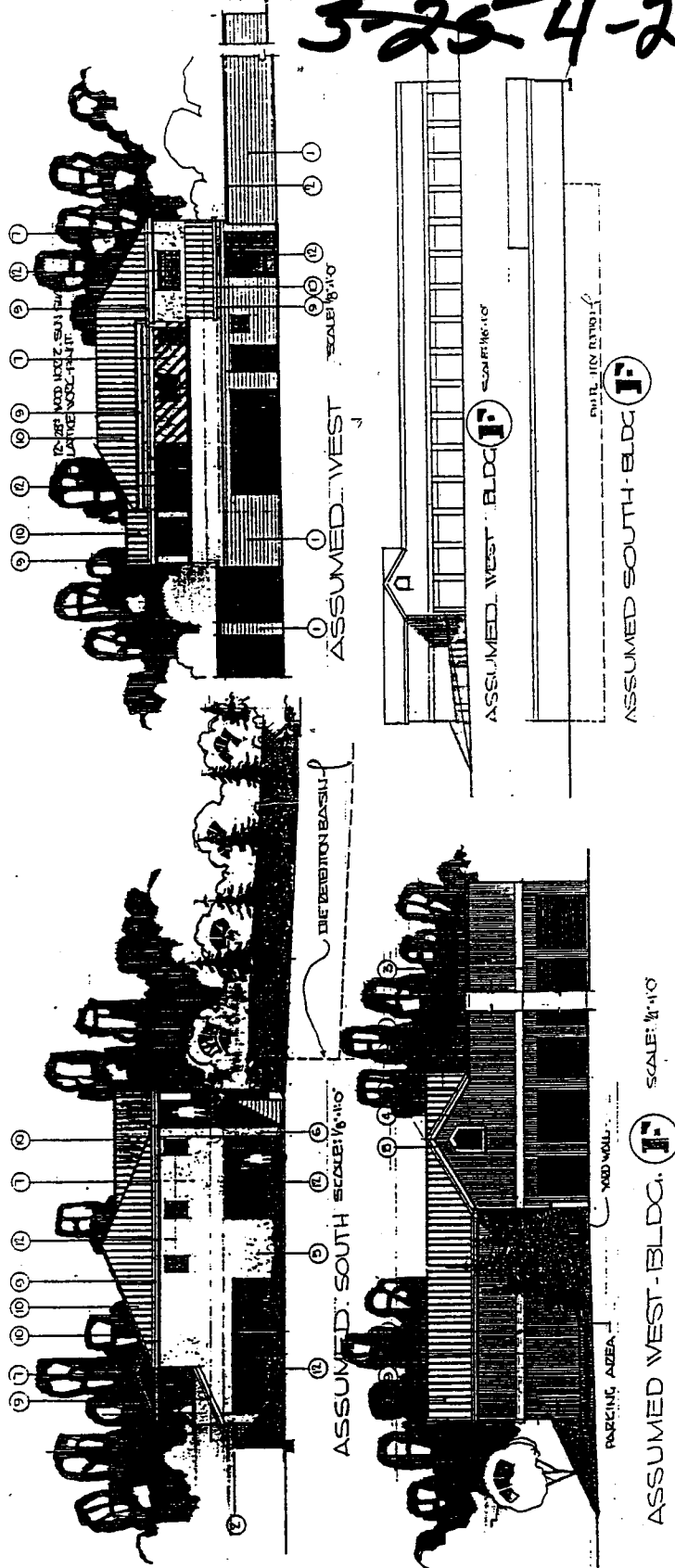


EXHIBIT

ELEVATIONS



5-25-4-25



PROJECT

D960223D



EXHIBIT

ELEVATIONS

Planning • Architecture • Interiors  
 1224 Village Way • Suite D  
 San Jose, California 95128  
 714-543-4332 • FAX 714-543-0239

Beck  
 Moffatt  
 Associates



NIPOMO SELF STORAGE

SHEET TITLE

REVISIONS

NO. DATE BY  
 1 10-17-97  
 2 10-17-97  
 3 10-17-97

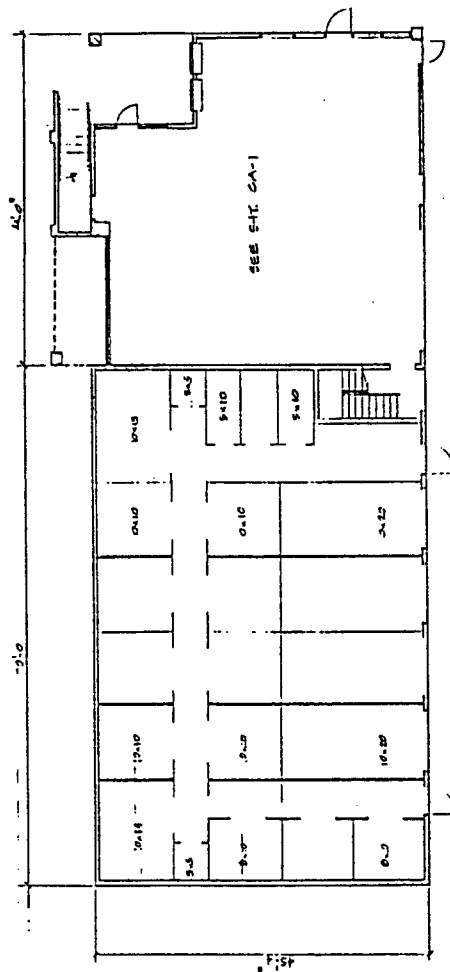
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1-3

3-26-4-26

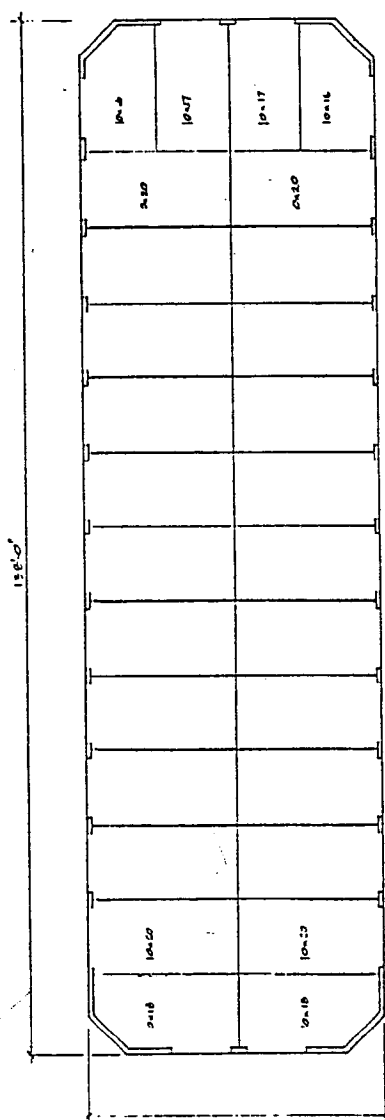
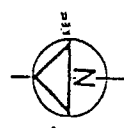
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 11. 10-17-97  
 12. 10-17-97



FLOOR PLAN BLDG. A

SCALE 1/8" = 1'-0"



FLOOR PLAN BLDG. D

SCALE 1/8" = 1'-0"

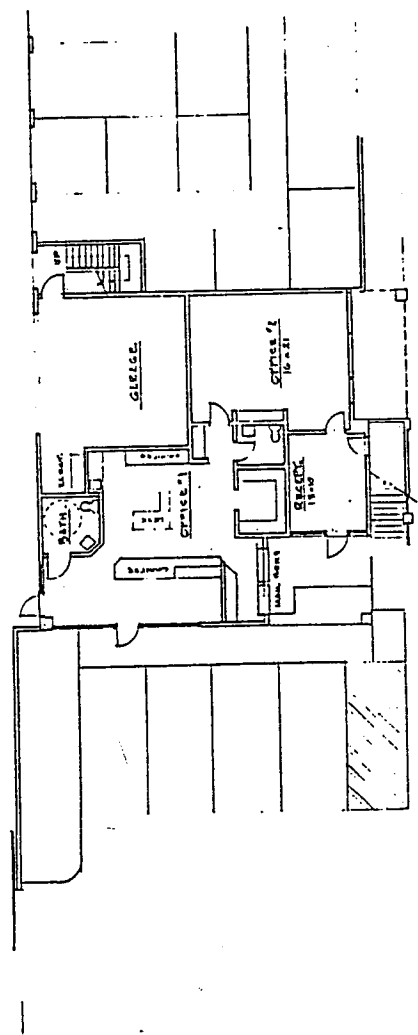
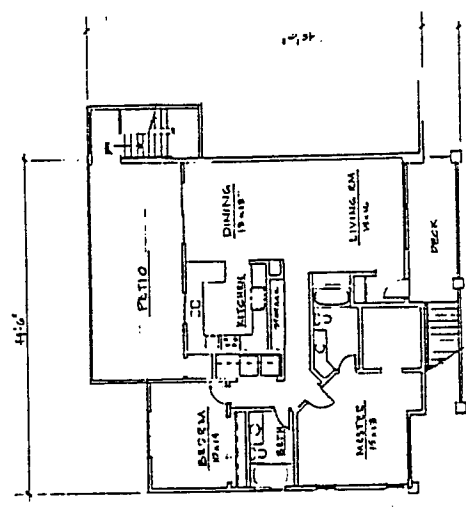


TYPICAL  
 STORAGE  
 BLDG.  
 FLOOR  
 PLAN

-D960223D-

1-14

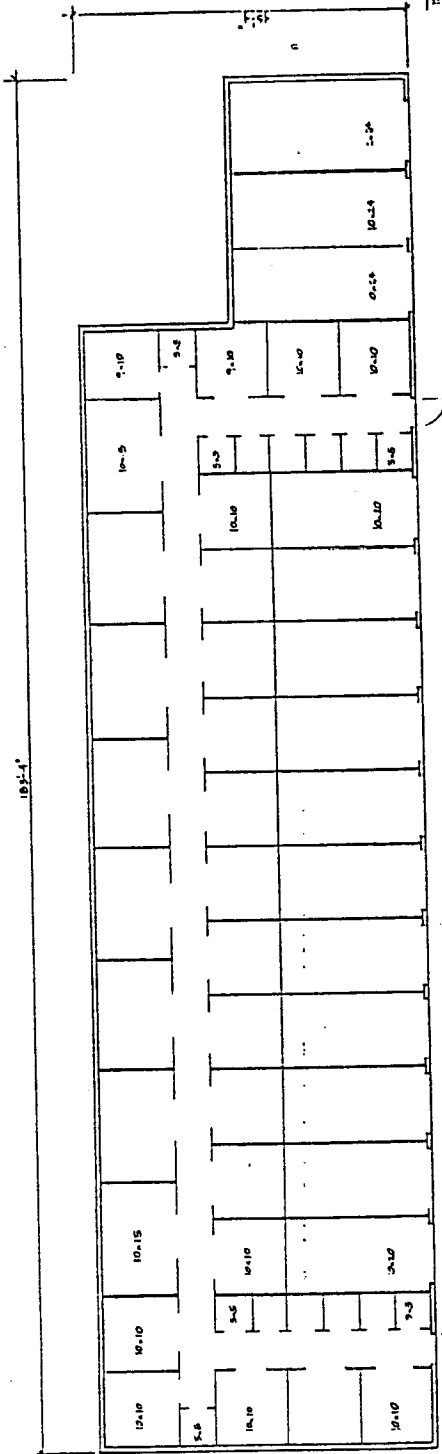
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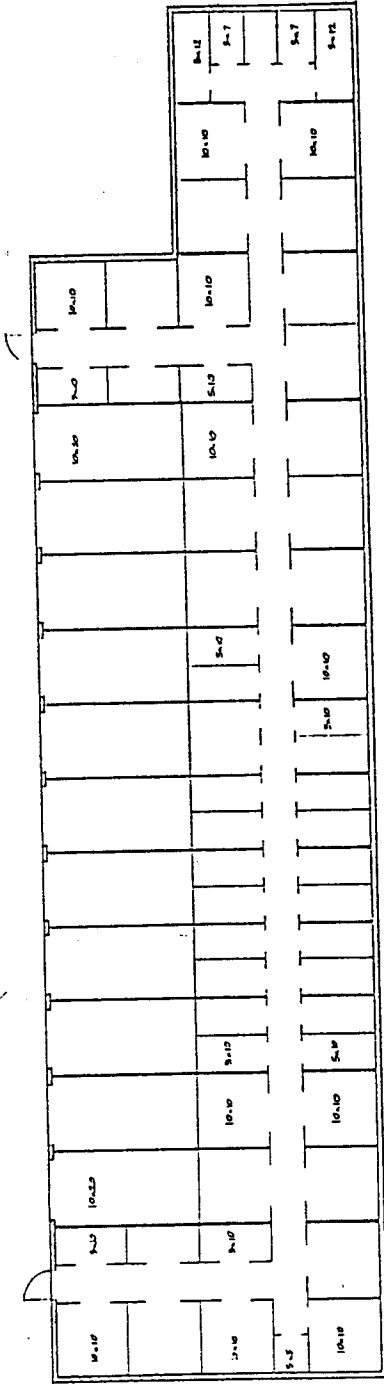
~~3-284-28~~

10.0	11
10.0	25
9.2	1
9.0	25
5.7	3
5.5	1



**SECOND FLOOR PLAN BLDG. F**

01.81.1005



FIRST FLOOR PLAN BLDG. F

SCALE 1/8" = 1'-0"



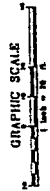
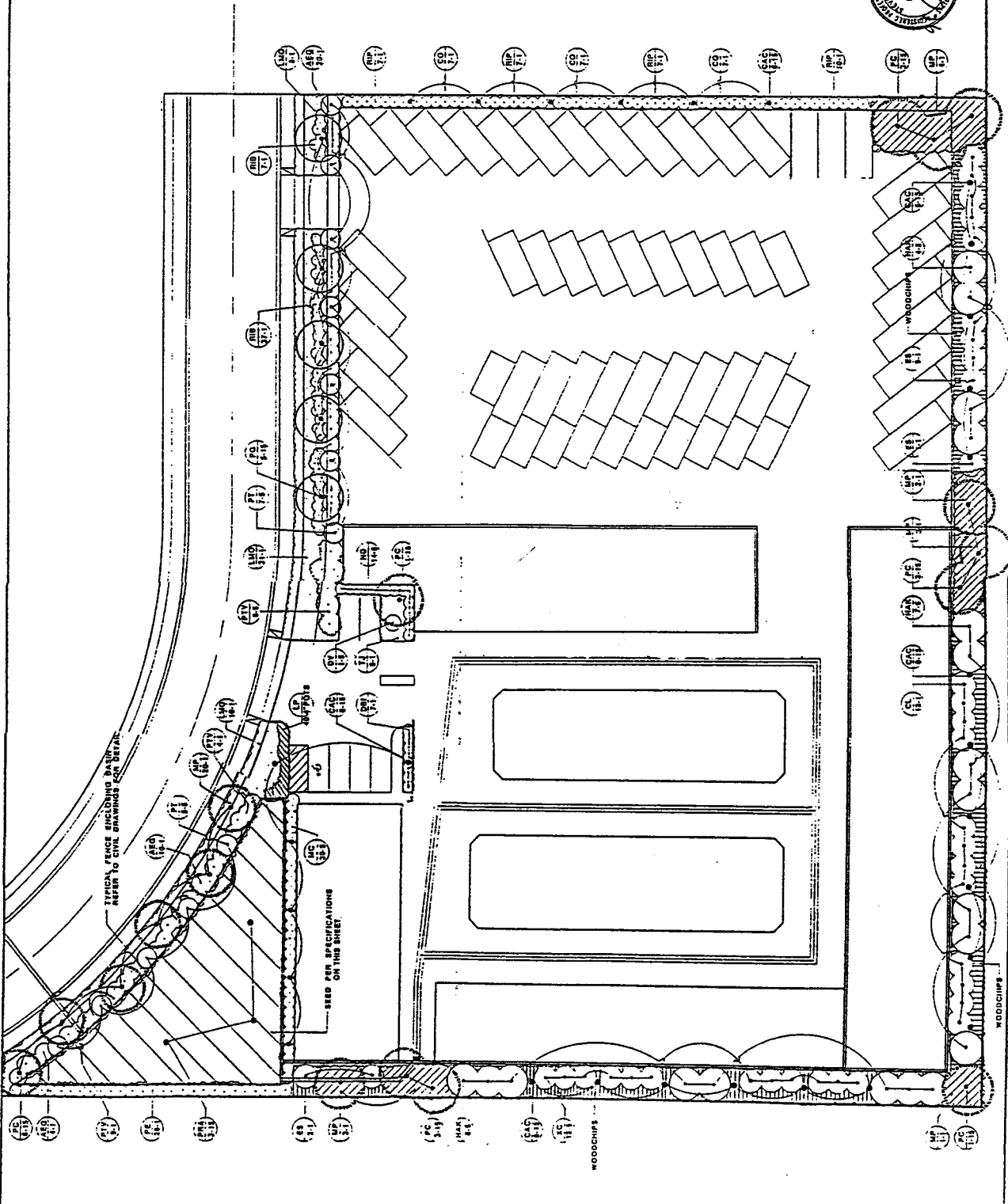
D96023D

91

### PLANTING LEGEND

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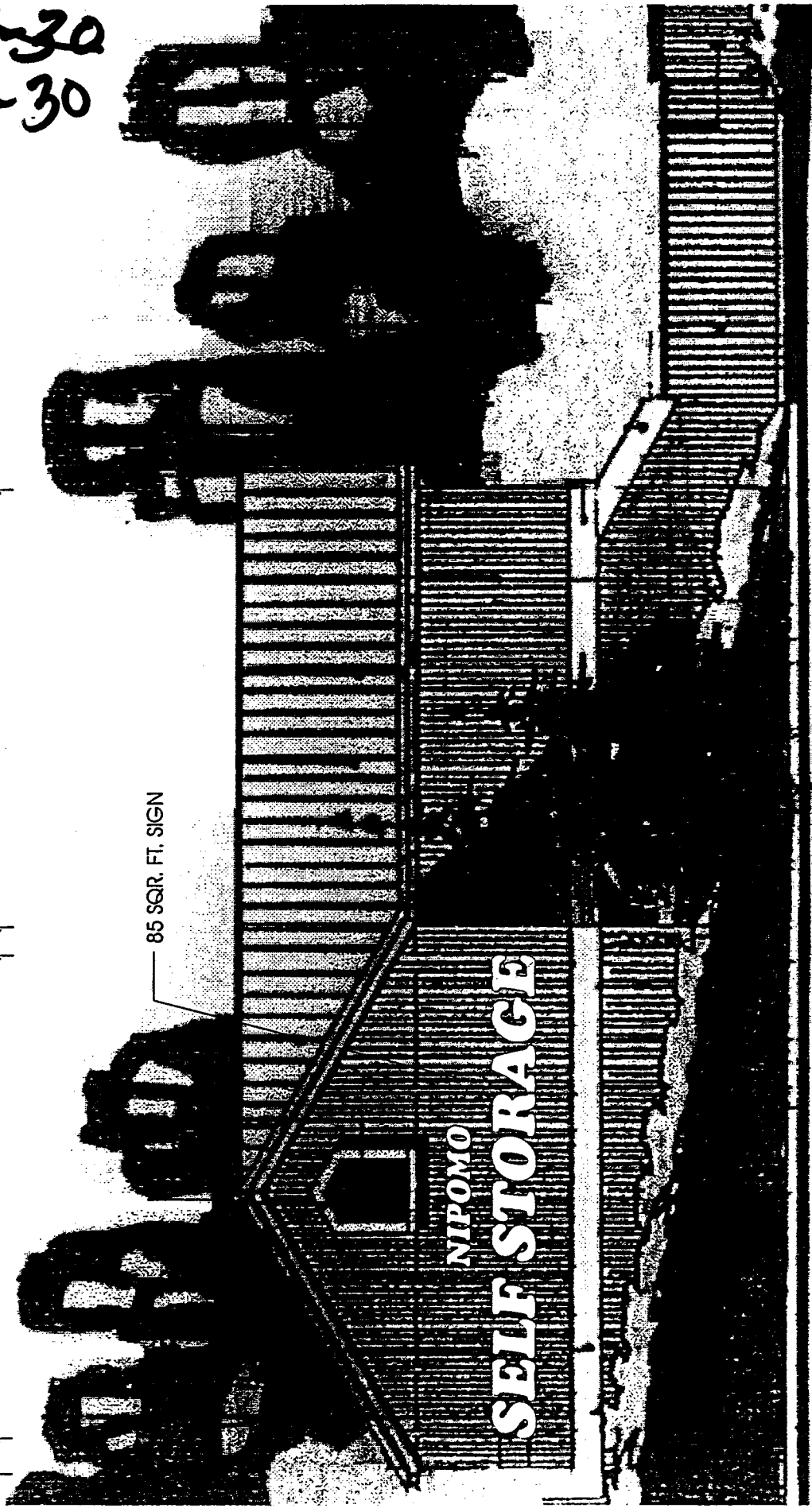
**SEEDING SPECIFICATIONS FOR MASING:**  
SEED: "GLOW SAVING" 10, 5/16000 SQ. FT.  
AGRONOMICS SEED CO. (800) 44-1100  
**IMPROBES:** "FOREST HUMIDIST," 100% DECOMPOSED FOR BARK  
AVAILABLE THROUGH: J.A.T. 64-1318  
**FERTILIZER** PER SPECIFICATIONS ON SHEET L-4  
**INSTALLATION:**  
1. PRIOR TO SEEDING, SCRATCH TOPSOIL TO  
A DEPTH OF 3"  
2. BROADCAST SEED AT THE RATE ABOVE AS  
DIRECTED AND FIRMABLE  
3. APPLY TOPDRESS 1" THICK TYPICAL  
4. IRRIGATE THOROUGHLY

[illegible]

- D960223D -  
PONTIAC PEAN

3-30  
4-30

25' 21' - 8"



3' - 11"  
2' - 3" 1"

FABRICATE AND INSTALL ONE SET OF INTERNALLY ILLUMINATED  
PLASTIC TRIM CAPPED CUSTOM LETTERS.

STREETFRONT SIGN ELEVATION

**GN Signs & Graphics**  
QUALITY SIGNAGE • SINCE 1945  
A CALIFORNIA CORPORATION LICENSE NO. 201326  
1390 WALKER STREET, SAN LUIS OBISPO, CA 93401  
(805) 543-2913

NIPOMO SELF STORAGE  
INGA ROAD  
NIPOMO, CA

DATE: 5/13/97	REV.
<small>ALL COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS RESERVED. THIS DOCUMENT AS WELL AS ANY WORK HEREON, INCLUDING ANY WORK PRODUCT OF OR FROM A GRAPHIC, THIS WORK SHALL NOT BE REPRODUCED, COPIED, DISCLOSED, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED. THEY SHALL NOT BE ASSIGNED TO ANY THIRD PARTY WITHOUT THE WRITTEN CONSENT OF THE PARTY ORIGINATOR. THIS DOCUMENT AND ANY WORK THEREON SHALL BE THE PROPERTY OF THE PARTY ORIGINATOR AND SHALL REMAIN THE PROPERTY OF THAT PARTY. THESE TERMS SHALL CONSTITUTE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.</small>	
JOB NO. 6788	SHEET 1 OF 2

- D760223D -

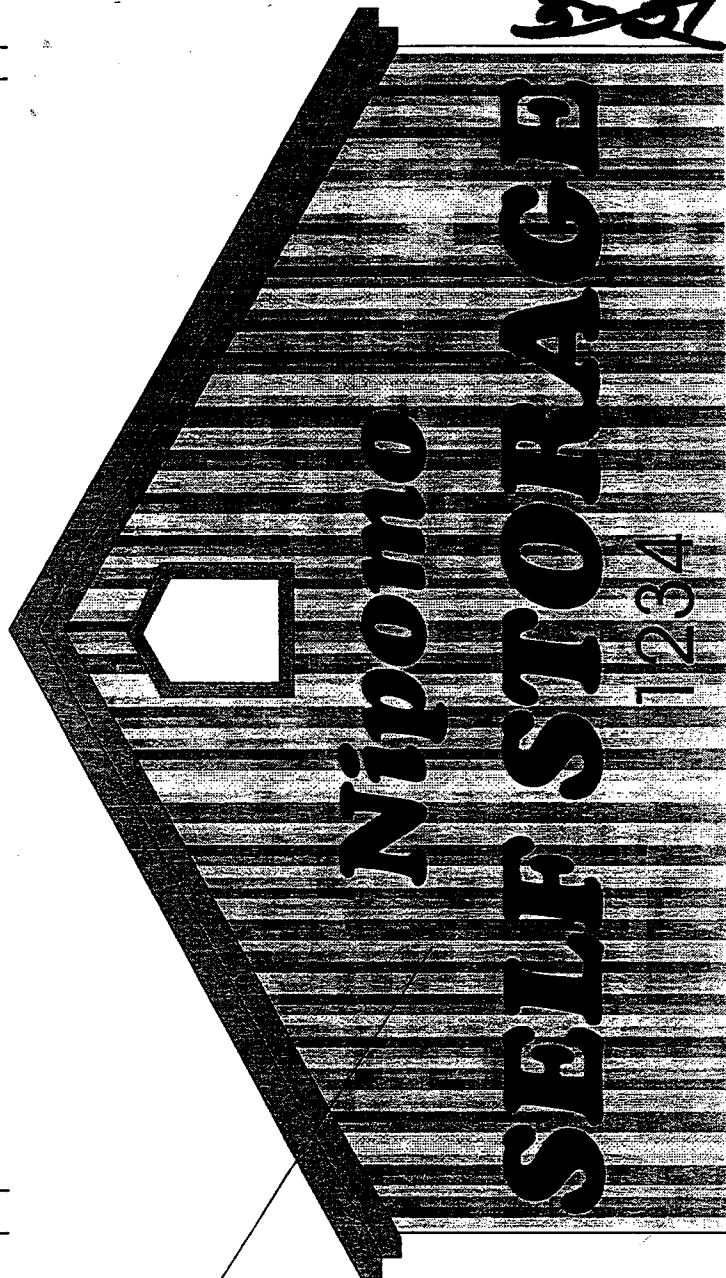
8' - 10"

8' - 3"

15 SQR. FT. SIGN

6'-0"

8"  
4.5"  
10.5"  
3"  
5"



FABRICATE AND INSTALL  
ONE DOUBLE FACE  
MONUMENT SIGN WITH  
SAME MATERIALS AND  
COLORS THAT ARE USED  
ON THE MAIN BUILDINGS.

LETTERS ARE CUSTOM  
PLASTIC TRIM CAPPED.

SIGN ILLUMINATION  
PROVIDED BY EXTERIOR  
FLORESCENT FIXTURES.

MONUMENT SIGN ELEVATION

-D96022-3D-

**CN** Signs &  
Graphics

QUALITY SIGNAGE • SINCE 1945  
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NIPOMO SELF STORAGE  
INGA ROAD  
NIPOMO, CA

DATE: 5/13/97

REV.

JOB NO. 6788

SHEET 2 OF 2

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3587 4-31

*officer*

~~3-32~~ 4-32

1/19/98 at 4:35 PM

Swords (805) 9291771

Page 1

The proposal by Don Pruitt/Westland Engineering for the ministorage and RV storage at Inga and Camino Caballo appears to be an appropriate use of that land inso far as the adjacent residential neighborhood is considered in said development.

As a twenty-two year residential property owner in the area, we have numerous continuing problems with noise, trash, and traffic from the Nipomo Swap Meet. I suspect that with Mr. Pruitt's experience in the ministorage business that he will be a good neighbor. The passive nature of the business is welcomed and appreciated, in contrast to other possible operations on that site.

I would encourage the County to recognize the residential proximity and consider stated mitigation measures identified, including noise, but also lighting and traffic. The passive storage should not have any problem meeting these needs

I wish Mr. Pruitt success.

Jack Swords  
582 Camino Caballo  
Nipomo, CA 93444  
(805) 929 1771



3-334-33

FOR OFFICIAL USE ONLY(WR)

**COUNTY OF SAN LUIS OBISPO  
NOTICE OF DETERMINATION AND  
NEGATIVE DECLARATION**

ENVIRONMENTAL DETERMINATION NO. ED97-464

DATE: November 28, 1997

**PROJECT DESCRIPTION**

**APPLICANT/ENTITLEMENT:** Fruit Development Plan: D960223D

**PLANNING AREA:** South County, Nipomo

**LAND USE CATEGORY:** Commercial Service

**SURROUNDING LAND USE CATEGORIES:** Commercial Service and Residential Suburban

**PARCEL SIZE:** 3.57 acres

**TOTAL AREA OF DISTURBANCE:** 3.57 acres

**LOCATION:** Approximately 200 feet west of Highway 101, between Inga and Camino Caballo Roads, in the community of Nipomo

**PROPOSED USES/INTENT:** A request to construct: 1) six one-story mini-storage buildings with a total floor area of approximately 40,000 square feet; 2) an RV storage lot with approximately 60 spaces, totaling approximately 49,000 square feet.

**APPLICANT:** Don Fruit, Nipomo, CA

**ENVIRONMENTAL SETTING**

**TOPOGRAPHY:**

Gently sloping

**VEGETATION:**

Grasses, forbs, scattered native shrubs, willows, and eucalyptus trees

**SOIL TYPE:**

Oceano sand

**SOIL CHARACTERISTICS:**

Well drained; low erodibility; low shrink-swell potential; may present some limitations to the percolation of sewage effluent due to poor filtering qualities

**GEOLOGIC HAZARDS:**

Negligible landslide potential; low to moderate liquefaction potential

**FIRE HAZARD:**

Moderate

**WATER:**

To be provided by Nipomo Community Services District

**SEWAGE DISPOSAL:**

On-site septic system

**EXISTING USES:**

Undeveloped

**SURROUNDING USES:**

Single-family residences; industrial and commercial uses

**ADDITIONAL INFORMATION**

Additional information pertaining to this environmental determination may be obtained by contacting the Environmental Coordinator, County Government Center, San Luis Obispo, CA 93408, (805) 781-5600.

**STATEMENT OF FINDINGS**

The Environmental Coordinator, after completion of the initial study, finds that there is no substantial evidence that the project may have a significant effect on the environment, and the preparation of an Environmental Impact Report is not necessary. Therefore, a Negative Declaration (pursuant to Public Resources Code Sections 21108, 21151 & 21167) is proposed.

**ACTION TAKEN**

On \_\_\_\_\_ 19\_\_\_\_, the San Luis Obispo Board of Supervisors/Planning Commission/Staff, having considered the Environmental Coordinator's action, approved/denied this project.

A copy of the Negative Declaration is available for review from the San Luis Obispo County Clerk, 1144 Monterey Street, Suite A, San Luis Obispo, CA 93408-2040.

1-21

3-34 4-34

California Department of Fish and Game

# CERTIFICATE OF FEE EXEMPTION

De Minimis Impact Finding

PROJECT TITLE & NUMBER: PRUIT DEVELOPMENT PLAN, D960223D  
ED97-464

Project Applicant

Name:

DON PRUIT

Address:

P.O. Box 920

City, State, Zip Code:

NIPOMO, CA 93444

Phone #:

929-1984

PROJECT DESCRIPTION/LOCATION:

See attached Notice of Determination

**FINDINGS OF EXEMPTION:**

There is no evidence before this agency that the proposed project has the potential for adverse effect on wildlife resources for one or more of the following reason(s):

- ( ) The project is located in an urbanized area that does not contain substantial fish or wildlife resources or their habitat.
- ( ) The project is located in a highly disturbed area that does not contain substantial fish or wildlife resources or their habitat.
- ☒ The project is of a limited size and scope and is not located in close proximity to significant wildlife habitat.
- ( ) The applicable filing fees have/will be collected at the time of issuance of other County approvals for this project. Reference Document Name and No. \_\_\_\_\_
- ( ) Other: \_\_\_\_\_

**CERTIFICATION:**

I hereby certify that the lead agency has made the above findings of fact and that, based upon the initial study and the hearing record, the project will not individually or cumulatively have an adverse effect on wildlife resources, as defined in Section 711.2 of the Fish and Game Code.

Ellen Carroll for

Ellen Carroll, Environmental Coordinator  
County of San Luis Obispo

Date: \_\_\_\_\_

1-22

~~3-35~~ 4-35  
COUNTY OF SAN LUIS OBISPO  
INITIAL STUDY SUMMARY - ENVIRONMENTAL CHECKLIST

Project Title & Number FRUIT DEVELOPMENT PLAN, D960223D  
ED97-464

Project Environmental Analysis

The County's environmental review process incorporates all of the requirements for completing the Initial Study as required by the California Environmental Quality Act (CEQA) and the CEQA Guidelines. The Initial Study includes staff's on-site inspection of the project site and surroundings and a detailed review of the information in the file for the project. In addition, available background information is reviewed for each project. Relevant information regarding soil types and characteristics, geologic information, significant vegetation and/or wildlife resources, water availability, wastewater disposal services, existing land uses, surrounding land use categories and other information relevant to the environmental review process are evaluated for each project. The Environmental Division uses the checklist to summarize the results of the research accomplished during the initial environmental review of the project. Persons, agencies or organizations interested in obtaining more information regarding the environmental review process for a project should contact the County of San Luis Obispo Environmental Division, Rm. 310, County Government Center, San Luis Obispo, CA 93408-2040 or call (805) 781-5600.

Initial Study Reference and Agency Contacts: The following reference materials are used in the environmental review for each project and are hereby incorporated by reference into the Initial Study.

- Project File for the Subject Application
- County General Plan (Inland & Coastal, including all maps & elements)
- County Land Use Ordinance
- Area of Critical Concerns Map
- Fire Hazard Severity Map
- Natural Species Diversity Database
- Areas of Special Biological Importance Map
- Archaeological Resources Map
- Natural Resource Conservation Service; Soil Survey for SLO County
- Flood Hazard Maps
- Airport Land Use Plans
- Other special studies, reports and existing EIRs as appropriate

In addition to the above, the County Planning or Environmental Division has contacted responsible and trustee agencies for their comments on the proposed project. With respect to the subject application, the following agencies have been contacted (marked with an "X") or have responded (marked with "XX"):

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> County Engineering Department        | <input type="checkbox"/> CA Department of Fish and Game             |
| <input checked="" type="checkbox"/> County Environmental Health Division | <input checked="" type="checkbox"/> CA Department of Forestry       |
| <input type="checkbox"/> County Planning Division                        | <input checked="" type="checkbox"/> CA Department of Transportation |
| <input type="checkbox"/> County Agricultural Commissioner's Office       | <input type="checkbox"/> Regional Water Quality Control Board       |
| <input type="checkbox"/> County Airport Manager                          | <input type="checkbox"/> CA Coastal Commission                      |
| <input checked="" type="checkbox"/> Airport Land Use Commission          | <input checked="" type="checkbox"/> <u>Nipomo</u> Community         |
| <input checked="" type="checkbox"/> Air Pollution Control District       | <input type="checkbox"/> Service District                           |
| <input type="checkbox"/> County Sheriff's Department                     | <input checked="" type="checkbox"/> Other <u>NAAG</u>               |

Checklist Identification of Mitigations for Potential Impacts: The checklist provides the identification and summary of the project's potential environmental impacts. Where potential impacts require mitigation, the following list of mitigations explains how the identified potential environmental impacts can and will be avoided or substantially lessened:

4-36  
3-36

1-23

- A. The project has been changed to avoid or substantially lessen environmental impacts. Where changes require explanation, the change(s) will be discussed in the Special Environmental Considerations section or attached material following the checklist.
- B. The project is subject to standards and requirements of the Land Use Element/Land Use Ordinance and/or other County ordinances that include provisions to avoid or substantially lessen environmental impacts. These provisions are requirements that must be incorporated into the project.
- C. The project is subject to state and/or federal regulations, laws and/or requirements that include provisions to avoid or substantially lessen environmental impacts. The project must incorporate the above provisions in order to be in compliance with federal or state law.
- D. A special mitigation plan to avoid or lessen environmental impacts has been agreed to by the applicant. This will be noted on the checklist and, if necessary, discussed in an attachment to the checklist.

### COUNTY OF SAN LUIS OBISPO INITIAL STUDY CHECKLIST

1=Potentially Significant Impact  
2=Impact Can & Will be Mitigated  
3=Insignificant Impact  
4=Not Applicable

#### I. BIOLOGICAL RESOURCES

	1	2	3	4
A. Wildlife	( )	( )	(✓)	( )
B. Vegetation	( )	( )	(✓)	( )
C. Habitat Area	( )	( )	(✓)	( )
D. Rare and/or Endangered Species	( )	( )	(✓)	( )
E. Unique or Fragile Biotic Community	( )	( )	(✓)	( )
F. State Area of Special Biological Importance	( )	( )	(✓)	( )
G. Riparian/Wetland Area	( )	( )	(✓)	( )
H. Other: _____	( )	( )	( )	( )

Mitigation: A \_\_\_\_ B \_\_\_\_ C \_\_\_\_ D \_\_\_\_

- ( ) See attached exhibit(s): ( ) Developer's Statement; ( ) Agency Response \_\_\_\_\_
- ( ) Revised Plans; ( ) Designated Building Sites
- ( ) See Special Environmental Considerations
- ( ) See Document in file \_\_\_\_\_

#### II. DRAINAGE, EROSION AND SEDIMENTATION

A. Increased Storm Water Runoff	( )	( )	(✓)	( )
B. Erodible Soils/Erosion	( )	( )	(✓)	( )
C. Poorly Drained Soils	( )	( )	(✓)	( )
D. Sedimentation	( )	( )	(✓)	( )
E. Contributes to Existing Drainage Problem	( )	( )	(✓)	( )
F. Alters Existing Drainage Course or Waterway	( )	( )	(✓)	( )
G. Other: _____	( )	( )	( )	( )

Mitigation: A \_\_\_\_ B \_\_\_\_ [see LUO sec.22.05.036 (CZLUO 23.05.036); 22.05.040 (CZLUO 23.05.040)]  
C \_\_\_\_ D \_\_\_\_

- ( ) See attached exhibit(s): ( ) Developer's Statement; ( ) Agency Response \_\_\_\_\_
- ( ) Sedimentation & Erosion Control/Drainage Plan
- ( ) See Special Environmental Considerations
- ( ) See Document in file \_\_\_\_\_

4-37  
3-37

126

1=Potentially Significant Impact
2=Impact Can & Will be Mitigated
3=Insignificant Impact
4=Not Applicable

### III. GEOLOGICAL HAZARDS/SITE ALTERATION

	1	2	3	4
A. Landslide Hazard	( )	( )	(✓)	( )
B. Seismic Hazard	( )	( )	(✓)	( )
C. Topographic Alteration; Grading for Building __, Driveways __, Roads __, Other __	( )	( )	(✓)	( )
D. Soil Expansion	( )	( )	(✓)	( )
E. Steep Slopes	( )	( )	(✓)	( )
F. Other: _____	( )	( )	( )	( )

Mitigation: A \_\_\_ B \_\_\_ C \_\_\_ D \_\_\_

( ) See attached exhibit(s): ( ) Developer's Statement; ( ) Agency Response \_\_\_\_\_  
 ( ) Sed./Erosion Control Plan; ( ) Revised Plans; ( ) Designated Building Sites  
 ( ) See Special Environmental Considerations  
 ( ) See Document in file \_\_\_\_\_

### IV. WATER RESOURCES

A. Groundwater Quantity	( )	( )	(✓)	( )
B. Groundwater Quality	( )	( )	(✓)	( )
C. Surface Water Quantity	( )	( )	(✓)	( )
D. Surface Water Quality	( )	( )	(✓)	( )
E. Stream Flow Change	( )	( )	( )	(✓)
F. Change to Estuarine Environment	( )	( )	( )	(✓)
G. Other: _____	( )	( )	( )	( )

Mitigation: A \_\_\_ B \_\_\_ C \_\_\_ D \_\_\_

( ) See attached exhibit(s): ( ) Developer's Statement; ( ) Agency Response \_\_\_\_\_  
 ( ) Hydrology Report  
 ( ) See Special Environmental Considerations  
 ( ) See Document in file \_\_\_\_\_

### V. POLLUTION

A. Hazardous Materials	( )	( )	(✓)	( )
B. Groundwater Pollution	( )	( )	(✓)	( )
C. Surface Water Pollution	( )	( )	(✓)	( )
D. Increase in Existing Noise Levels	( )	(✓)	( )	( )
E. Exposure of People to Severe Noise Levels	( )	( )	(✓)	( )
F. Substantial Air Emissions	( )	( )	(✓)	( )
G. Deterioration of Ambient Air Quality	( )	( )	(✓)	( )
H. Creation of Objectionable Odors	( )	( )	(✓)	( )
I. Other: _____	( )	( )	( )	( )

Mitigation: A \_\_\_ B \_\_\_ C \_\_\_ D ✓

\* (✓) See attached exhibit(s): (✓) Developer's Statement; ( ) Agency Response \_\_\_\_\_  
 ( ) Hydrology/Noise Study  
 ( ) See Special Environmental Considerations  
 ( ) See Document in file \_\_\_\_\_

4-38  
3-38

1=Potentially Significant Impact  
2=Impact Can & Will be Mitigated  
3=Insignificant Impact  
4=Not Applicable

1-25

VI. TRAFFIC

- |  | 1   | 2   | 3   | 4   |
|--|-----|-----|-----|-----|
| A. Increase in Vehicle Trips                             | ( ) | ( ) | (✓) | ( ) |
| B. Reduced Levels of Service on Existing Public Roadways | ( ) | ( ) | (✓) | ( ) |
| C. Limited or Unsafe Access                              | ( ) | ( ) | (✓) | ( ) |
| D. Creates Unsafe Conditions on Public Roadways          | ( ) | ( ) | (✓) | ( ) |
| * E. Areawide Traffic Circulation                        | ( ) | (✓) | ( ) | ( ) |
| F. Internal Traffic Circulation                          | ( ) | ( ) | (✓) | ( ) |
| G. Other: _____  | ( ) | ( ) | ( ) | ( ) |

\* Mitigation: A \_\_\_\_ B ✓ [see Co. Code Title 13.01.010-.060; South Co. Circulation Fee]  
C \_\_\_\_ D \_\_\_\_

- ( ) See attached exhibit(s): ( ) Developer's Statement; ( ) Agency Response \_\_\_\_\_  
( ) Traffic Study  
( ) See Special Environmental Considerations  
( ) See Document in file \_\_\_\_\_

VII. PUBLIC SERVICES

- |                               |     |     |     |     |
|-------------------------------|-----|-----|-----|-----|
| * A. Fire Protection Services | ( ) | (✓) | ( ) | ( ) |
| * B. Police/Sheriff Services  | ( ) | (✓) | ( ) | ( ) |
| C. Schools                    | ( ) | ( ) | (✓) | ( ) |
| D. Community Wastewater       | ( ) | ( ) | (✓) | ( ) |
| E. Community Water Supply     | ( ) | ( ) | (✓) | ( ) |
| F. Solid Waste Disposal       | ( ) | ( ) | (✓) | ( ) |
| G. On-site Wastewater         | ( ) | ( ) | (✓) | ( ) |
| H. On-site Water              | ( ) | ( ) | ( ) | (✓) |
| I. Other: _____               | ( ) | ( ) | ( ) | ( ) |

Mitigation: A \_\_\_\_ B ✓ (School Fee, Countywide Fee) C \_\_\_\_ D \_\_\_\_

- ( ) See attached exhibit(s): ( ) Developer's Statement; ( ) Agency Response \_\_\_\_\_  
( ) Hydrology Report  
( ) See Special Environmental Considerations  
( ) See Document in file \_\_\_\_\_

VIII. AESTHETIC/CULTURAL RESOURCES

- |                                      |     |     |     |     |
|--------------------------------------|-----|-----|-----|-----|
| A. Visual Impact from Public Roadway | ( ) | ( ) | (✓) | ( ) |
| B. Increased Light or Glare          | ( ) | ( ) | (✓) | ( ) |
| C. Alters Important Scenic Vista     | ( ) | ( ) | (✓) | ( ) |
| * D. Archaeological Resources        | ( ) | (✓) | ( ) | ( ) |
| E. Historic Resources                | ( ) | ( ) | (✓) | ( ) |
| F. Other: _____                      | ( ) | ( ) | ( ) | ( ) |

Mitigation: A \_\_\_\_ B \_\_\_\_ C \_\_\_\_ D ✓

- \* (✓) See attached exhibit(s): (✓) Developer's Statement; ( ) Agency Response \_\_\_\_\_  
( ) Visual Analysis; ( ) Revised Plans; ( ) Landscape Plan; ( ) Designated Building Sites  
( ) See Special Environmental Considerations  
\* (✓) See Document in file ARCHAEOLOGICAL REPORT

4-39  
3-39

1=Potentially Significant Impact  
2=Impact Can & Will be Mitigated  
3=Insignificant Impact  
4=Not Applicable

IX. HOUSING AND ENERGY

- |   | 1   | 2   | 3   | 4   |
|---|-----|-----|-----|-----|
| A. Creates Substantial Demand for Housing       | ( ) | ( ) | (✓) | ( ) |
| B. Uses Substantial Amount of Fuel or Energy    | ( ) | ( ) | (✓) | ( ) |
| C. Encourages Growth Beyond Resource Capacities | ( ) | ( ) | (✓) | ( ) |
| D. Other: _____                                 | ( ) | ( ) | ( ) | ( ) |

Mitigation: A \_\_\_\_ B \_\_\_\_ C \_\_\_\_ D \_\_\_\_

- ( ) See attached exhibit(s): ( ) Developer's Statement; ( ) Agency Response \_\_\_\_\_  
 ( ) See Special Environmental Considerations  
 ( ) See Document in file \_\_\_\_\_

X. AGRICULTURAL/MINERAL RESOURCES

- |  |     |     |     |     |
|--|-----|-----|-----|-----|
| A. Eliminates Valuable Mineral Resources     | ( ) | ( ) | (✓) | ( ) |
| B. Prime Agricultural Soils                  | ( ) | ( ) | ( ) | (✓) |
| C. Conflicts with Existing Agricultural Area | ( ) | ( ) | ( ) | (✓) |
| D. Change from Agriculture to Other Uses     | ( ) | ( ) | ( ) | (✓) |
| E. Other: _____                              | ( ) | ( ) | ( ) | ( ) |

Mitigation: A \_\_\_\_ B \_\_\_\_ C \_\_\_\_ D \_\_\_\_

- ( ) See attached exhibit(s): ( ) Developer's Statement; ( ) Agency Response \_\_\_\_\_  
 ( ) See Special Environmental Considerations  
 ( ) See Document in file \_\_\_\_\_

XI. GROWTH INDUCING/CUMULATIVE EFFECTS

- |  |     |     |     |     |
|--|-----|-----|-----|-----|
| A. Growth Inducing Effects               | ( ) | ( ) | (✓) | ( ) |
| B. Precedent for Change in Area Land Use | ( ) | ( ) | (✓) | ( ) |
| C. Cumulative Effects: _____             | ( ) | ( ) | ( ) | ( ) |
| _____                                    | ( ) | ( ) | ( ) | ( ) |
| _____                                    | ( ) | ( ) | ( ) | ( ) |
| _____                                    | ( ) | ( ) | ( ) | ( ) |
| _____                                    | ( ) | ( ) | ( ) | ( ) |
| _____                                    | ( ) | ( ) | ( ) | ( ) |
| _____                                    | ( ) | ( ) | ( ) | ( ) |

D. Other: \_\_\_\_\_ ( ) ( ) ( ) ( )

Mitigation: A \_\_\_\_ B \_\_\_\_ (School Fee, Countywide Fee) C \_\_\_\_ D \_\_\_\_

- ( ) See attached exhibit(s): ( ) Developer's Statement; ( ) Agency Response \_\_\_\_\_  
 ( ) See Special Environmental Considerations  
 ( ) See Document in file \_\_\_\_\_

4-40  
3-40

NOV 21 1997

127  
DATE: November 17, 1997

**DEVELOPER'S STATEMENT FOR PRUIT DEVELOPMENT PLAN  
ED97-464 (D960223D)**

The applicant agrees to incorporate the following measures into the project. These measures become a part of the project description and therefore become a part of the record of action upon which the environmental determination is based. All development activity must occur in strict compliance with the following mitigation measures. These measures shall be perpetual and run with the land. These measures are binding on all successors in interest of the subject property.

**Note:** The items contained in the boxes labeled "Monitoring" describe the County procedures to be used to ensure compliance with the mitigation measures.

**Archaeology**

1. **Prior to issuance of grading permits or any grading work**, the applicant shall retain a qualified archaeological monitor and a Native American monitor, approved by the Environmental Coordinator, to monitor all disturbance of native soil associated with the project, including disturbance for grading, trenching, excavation, recompaction, etc.

In the event that significant cultural resources are uncovered, the applicant shall implement the recommendations of the archaeologist, as required by the Environmental Coordinator.

**Monitoring:** Compliance will be verified by the Department of Planning and Building.

2. The applicant shall use shallow discing, or similar ground preparation, as a less intensive form of scarification to remove existing vegetation in preparation of the soil surface for necessary excavation and/or recompaction. **All discing activity shall be monitored by an archaeologist and Native American monitor.** In the event that significant cultural resources are uncovered, the applicant shall implement the recommendations of the archaeologist as required by the Environmental Coordinator.

**Monitoring:** Compliance will be verified by the Department of Planning and Building.

3. Excavation for the proposed catchment basin shall be monitored by an archaeologist and Native American monitor. In the event that significant cultural resources are uncovered, the applicant shall implement the recommendations of the archaeologist as required by the Environmental Coordinator.



~~3-44~~ 4-41

**Monitoring:** Compliance will be verified by the Department of Planning and Building.

4. All trenching for underground utilities shall be monitored by an archaeologist and Native American monitor when this trenching intrudes into native soils. In the event that significant cultural resources are uncovered, the applicant shall implement the recommendations of the archaeologist as required by the Environmental Coordinator.

**Monitoring:** Compliance will be verified by the Department of Planning and Building.

5. All grading for roads shall be monitored by an archaeologist and Native American monitor, unless this cutting takes place within layers of imported fill. In the event that significant cultural resources are uncovered, the applicant shall implement the recommendations of the archaeologist as required by the Environmental Coordinator.

**Monitoring:** Compliance will be verified by the Department of Planning and Building.

6. The archaeologist shall review preliminary construction and grading plans and make recommendations for the protection of archaeological resources.

**Monitoring:** Compliance will be verified by the Department of Planning and Building.

7. The project archaeologist shall attend pre-construction meetings for construction activities affecting native soils.

**Monitoring:** Compliance will be verified by the Department of Planning and Building.

#### Noise

8. Hours of operation for the mini-storage business shall be limited to 7:00 am to 7:00 pm.

**Monitoring:** Compliance will be verified by the Department of Planning and Building.

The applicant understands that any changes made to the project description subsequent to this environmental determination must be reviewed by the Environmental Coordinator and may require a new environmental determination for the project. By signing this agreement, the

1-29

3-42 4-42

owner(s) agrees to and accepts the incorporation of the above measures into the proposed project description.

Pruit Prospects By [Signature]  
Signature of Property Owner

11/20/97  
Date

Dou Pruit  
Name (Print)

**COUNTY OF SAN LUIS OBISPO  
NOTICE OF DETERMINATION AND  
NEGATIVE DECLARATION**

**3-43**  
**4-43**

ENVIRONMENTAL DETERMINATION NO. ED97-464

DATE: November 28, 1997

**PROJECT DESCRIPTION**

**APPLICANT/ENTITLEMENT:** Fruit Development Plan: D960223D

**PLANNING AREA:** South County, Nipomo

**LAND USE CATEGORY:** Commercial Service

**SURROUNDING LAND USE CATEGORIES:** Commercial Service and Residential Suburban

**PARCEL SIZE:** 3.57 acres

**TOTAL AREA OF DISTURBANCE:** 3.57 acres

**LOCATION:** Approximately 200 feet west of Highway 101, between Inga and Camino Caballo Roads, in the community of Nipomo

**PROPOSED USES/INTENT:** A request to construct: 1) six one-story mini-storage buildings with a total floor area of approximately 40,000 square feet; 2) an RV storage lot with approximately 60 spaces, totaling approximately 49,000 square feet.

**APPLICANT:** Don Fruit; Nipomo, CA

**ENVIRONMENTAL SETTING**

**TOPOGRAPHY:**

Gently sloping

**VEGETATION:**

Grasses, forbs, scattered native shrubs, willows, and eucalyptus trees

**SOIL TYPE:**

Oceano sand

**SOIL CHARACTERISTICS:**  
some

Well drained; low erodibility; low shrink-swell potential; may present limitations to the percolation of sewage effluent due to poor filtering qualities

**GEOLOGIC HAZARDS:**

Negligible landslide potential; low to moderate liquefaction potential

**FIRE HAZARD:**

Moderate

**WATER:**

To be provided by Nipomo Community Services District

**SEWAGE DISPOSAL:**

On-site septic system

**EXISTING USES:**

Undeveloped

**SURROUNDING USES:**

Single-family residences; industrial and commercial uses

**ADDITIONAL INFORMATION**

Additional information pertaining to this environmental determination may be obtained by contacting the Environmental Coordinator, County Government Center, San Luis Obispo, CA 93408, (805) 781-5600.

**STATEMENT OF FINDINGS**

The Environmental Coordinator, after completion of the initial study, finds that there is no substantial evidence that the project may have a significant effect on the environment, and the preparation of an Environmental Impact Report is not necessary. Therefore, a Negative Declaration (pursuant to Public Resources Code Sections 21108, 21151 & 21167) is proposed.

**ACTION TAKEN**

On \_\_\_\_\_ 19\_\_\_\_, the San Luis Obispo Board of Supervisors/Planning Commission/Staff, having considered the Environmental Coordinator's action, approved/denied this project.

A copy of the Negative Declaration is available for review from the San Luis Obispo County Clerk, 1144 Monterey Street, Suite A, San Luis Obispo, CA 93408-2040.

DATE: November 17, 1997

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**DEVELOPER'S STATEMENT FOR FRUIT DEVELOPMENT PLAN  
ED97-464 (D960223D)**

The applicant agrees to incorporate the following measures into the project. These measures become a part of the project description and therefore become a part of the record of action upon which the environmental determination is based. All development activity must occur in strict compliance with the following mitigation measures. These measures shall be perpetual and run with the land. These measures are binding on all successors in interest of the subject property.

**Note:** The items contained in the boxes labeled "Monitoring" describe the County procedures to be used to ensure compliance with the mitigation measures.

**Archaeology**

1. **Prior to issuance of grading permits or any grading work**, the applicant shall retain a qualified archaeological monitor and a Native American monitor, approved by the Environmental Coordinator, to monitor all disturbance of native soil associated with the project, including disturbance for grading, trenching, excavation, recompaction, etc.

In the event that significant cultural resources are uncovered, the applicant shall implement the recommendations of the archaeologist, as required by the Environmental Coordinator.

**Monitoring:** Compliance will be verified by the Department of Planning and Building.

2. The applicant shall use shallow discing, or similar ground preparation, as a less intensive form of scarification to remove existing vegetation in preparation of the soil surface for necessary excavation and/or recompaction. **All discing activity shall be monitored by an archaeologist and Native American monitor.** In the event that significant cultural resources are uncovered, the applicant shall implement the recommendations of the archaeologist as required by the Environmental Coordinator.

**Monitoring:** Compliance will be verified by the Department of Planning and Building.

3. Excavation for the proposed catchment basin shall be monitored by an archaeologist and Native American monitor. In the event that significant cultural resources are uncovered, the applicant shall implement the recommendations of the archaeologist as required by

the Environmental Coordinator.

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**Monitoring:** Compliance will be verified by the Department of Planning and Building.

4. All trenching for underground utilities shall be monitored by an archaeologist and Native American monitor when this trenching intrudes into native soils. In the event that significant cultural resources are uncovered, the applicant shall implement the recommendations of the archaeologist as required by the Environmental Coordinator.

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**Monitoring:** Compliance will be verified by the Department of Planning and Building.

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**Monitoring:** Compliance will be verified by the Department of Planning and Building.

7. The project archaeologist shall attend pre-construction meetings for construction activities affecting native soils.

**Monitoring:** Compliance will be verified by the Department of Planning and Building.

#### Noise

8. Hours of operation for the mini-storage business shall be limited to 7:00 am to 7:00 pm.

~~3-46~~ 4-46

**Monitoring:** Compliance will be verified by the Department of Planning and Building.

The applicant understands that any changes made to the project description subsequent to this environmental determination must be reviewed by the Environmental Coordinator and may require a new environmental determination for the project. By signing this agreement, the owner(s) agrees to and accepts the incorporation of the above measures into the proposed project description.

\_\_\_\_\_  
Signature of Property Owner

\_\_\_\_\_  
Date

\_\_\_\_\_  
Name (Print)